

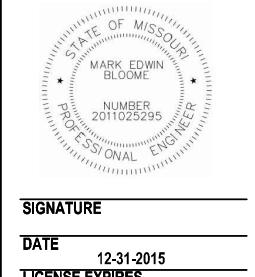
JEFFERSON COUNTY DEPARTMENT OF PUBLIC WORKS

COUNTY ADMINISTRATION AND COURTHOUSE ANNEX

PARKING LOT IMPROVEMENTS - PHASE II

725 MAPLE STREET, P.O. BOX 100
HILLSBORO, JEFFERSON COUNTY, MISSOURI

HR
HURST-ROSCHE
ENGINEERS INC.
PROFESSIONAL DESIGN NUMBER 00072
3675 W. OUTER ROAD
SUITE 101
ARNOLD, MO 63010
PH: 636.333.3351
F: 636.333.3354
HILLSBORO, IL
EAST ST. LOUIS, IL
MARION, IL
SPRINGFIELD, IL
NEOSHO, MO



SIGNATURE
DATE
12-31-2015
LICENSE EXPIRES

PARKING LOT IMPROVEMENTS - PHASE II
JEFFERSON COUNTY DEPARTMENT OF PUBLIC WORKS
COUNTY ADMINISTRATION AND COURTHOUSE ANNEX
725 MAPLE STREET, P.O. BOX 100
HILLSBORO, MO 63050

| MARK | DATE | DESCRIPTION |
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| | | |

DATE: 10/3/14
PROJECT NO: 845-1354
DESIGN: DRAWN: CHECK:
MAR TWC MEB

COVER SHEET

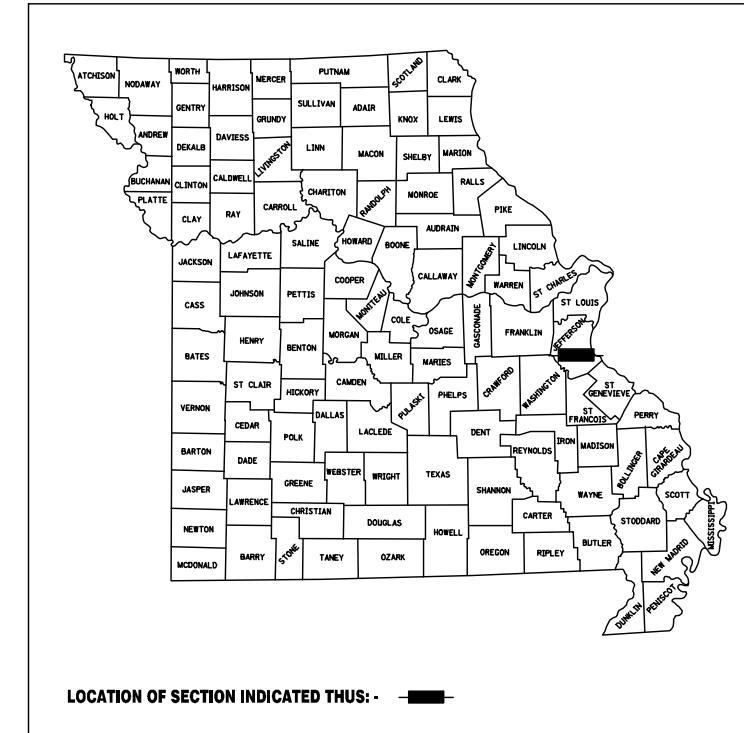
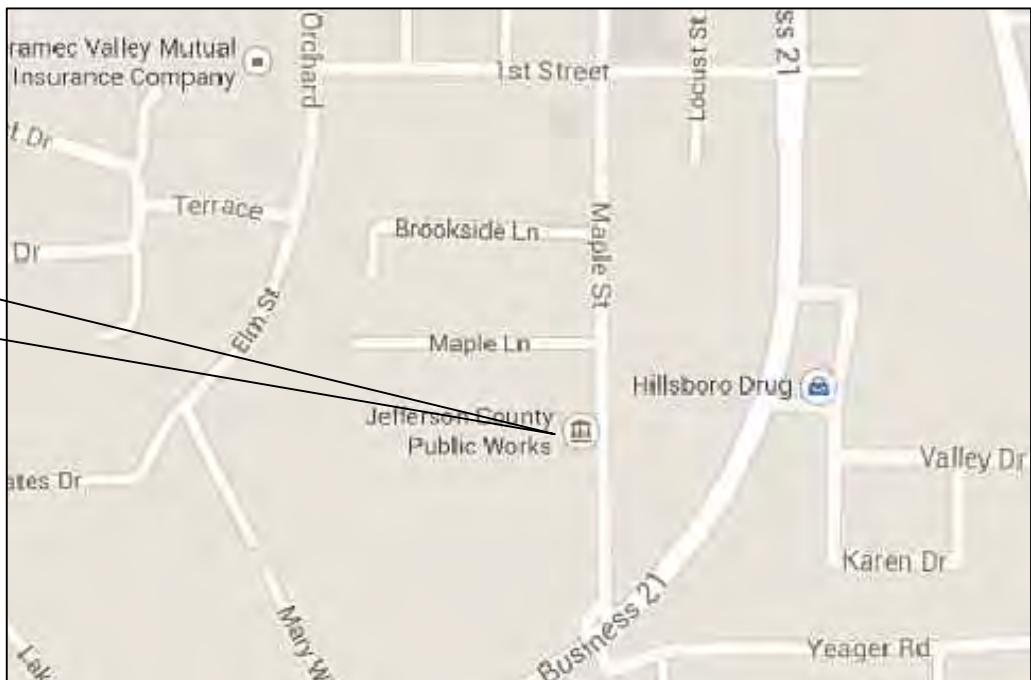
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INDEX OF SHEETS

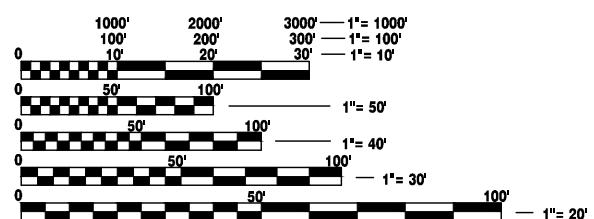
- G-101 COVER SHEET
- C-001 GENERAL NOTES
- C-101 DEMOLITION PLAN
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- C-105 DETAILS



LOCATION OF
IMPROVEMENTS



SCALES USED FOR VARIOUS PLAN SHEETS



0' 250' 500'
APPROXIMATE SCALE

LOCATION MAP

NORTH 1/2 OF SECTION 3
TOWNSHIP 40 NORTH
RANGE 4 EAST
OF THE 3RD P.M.
CENTRAL TOWNSHIP

APPROVED FOR CONSTRUCTION

Jason Jonas
Director of Public Works

Date

FULL SIZE PLANS HAVE BEEN PREPARED USING STANDARD
ENGINEERING SCALES. REDUCED SIZED PLANS WILL NOT
CONFORM TO STANDARD SCALES. IN MAKING MEASUREMENTS
ON REDUCED PLANS, THE ABOVE SCALES MAY BE USED.

MISSOURI ONE CALL
MISSOURI ONE CALL SYSTEM, INC.
1-800-344-7483

GENERAL NOTES:

- EXISTING SITE IMPROVEMENTS DISTURBED OUTSIDE THE DESIGNATED CONSTRUCTION AREAS ARE TO BE REPLACED WITH EQUAL OR BETTER CONSTRUCTION AT THE EXPENSE OF THE CONTRACTOR. EVERY EFFORT SHALL BE MADE TO MINIMIZE SUCH DISTURBANCES. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO EXISTING CONSTRUCTION AND UTILITIES TO REMAIN AND SHALL REPAIR DAMAGE CAUSED BY THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN DRAINAGE FLOWS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK. DAMAGE RESULTING FROM IMPROPER MAINTENANCE OF DRAINAGE SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. COST OF MAINTAINING FLOWS IS INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR SHALL TAKE NOTE OF ALL EXISTING CONDITIONS AND BE PREPARED TO MOVE OR DISPOSE OF OBJECTS OR MATERIALS WITHIN THE LIMITS OF THE PROJECT. SUCH WORK SHALL NOT BE CAUSE FOR ADDITIONAL COMPENSATION FOR A CHANGE IN THE SCOPE.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND NEW DIMENSIONS WITH FIELD CONDITIONS PRIOR TO BIDDING, FABRICATION AND CONSTRUCTION AND MAKE MINOR ADJUSTMENTS AS NECESSARY AND NOTIFY THE ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER, ENGINEER, AND OTHER TRADES THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND SIGNAGE IN ACCORDANCE WITH CONSTRUCTION STANDARDS AND SPECIFICATIONS OF ALL LOCAL GOVERNING AGENCIES, THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND MODOT AS DETERMINED BY THE ENGINEER. ACCESS TO PROPERTIES AND ENTRANCES SHALL BE PROVIDED BY THE CONTRACTOR AT ALL TIMES AND COORDINATED WITH THE OWNER, INCLUDING ANY INTERRUPTION OF ACCESS TO THE SITE.
- COHESIVE FILL UNDER BUILDINGS, STEPS, PAVED AREAS, UTILITY LINES AND TRENCH BACKFILLS SHALL BE COMPACTED TO A MINIMUM 95% OF MAXIMUM DRY DENSITY. WELL GRADED AGGREGATE FILL UNDER SLABS ON GRADE, PAVED AREAS, UTILITY LINES AND TRENCH BACKFILLS SHALL BE COMPACTED TO A MINIMUM 95% OF MAXIMUM DRY DENSITY. WELL GRADED AGGREGATE FILL UNDER FOOTINGS SHALL BE COMPACTED TO A MINIMUM 100% OF MAXIMUM DRY DENSITY. UNDER LAWN OR UNPAVED AREAS, COMPACT SOIL TO A MINIMUM 85% MAXIMUM DRY DENSITY. COMPACTION SHALL BE IN ACCORDANCE WITH ASTM D-698 WITH 6" MAXIMUM COMPACTED LIFTS, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL ADJUST AFOREMENTIONED COMPACTION INFORMATION BASED ON GEOTECHNICAL REPORT AND PROJECT SPECIFICATIONS IF SAID GEOTECHNICAL REPORT AND PROJECT SPECIFICATIONS DIFFERS FROM AFOREMENTIONED COMPACTION INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION PRIOR TO ANY WORK AND MAINTENANCE THROUGHOUT THE PROJECT OF ALL NECESSARY SEDIMENT AND EROSION CONTROL MEASURES AND MODEL BEST MANAGEMENT PRACTICES (BMP) FOR LAND DISTURBANCE. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SOIL EXPOSED BY DISTURBANCE DUE TO HIS/HER OPERATIONS. THE CONTRACTOR SHALL CONSTRUCT SAID EROSION CONTROL MEASURES IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF MODNR AND MODOT, PROJECT SPECIFICATIONS AND AS DIRECTED ON THE PLANS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY ALL LOCAL GOVERNING AGENCIES, MODNR, MODOT AND/OR ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EROSION CONTROL MEASURES AND REPAIR OF ANY ERODED AREAS AFTER PROJECT ACCEPTANCE AND VEGETATION IN ALL LAWN DISTURBED AREAS HAS BEEN ESTABLISHED. NO ADDITIONAL COMPENSATION IS ALLOWED FOR TEMPORARY EROSION CONTROL.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF ALL LOCAL GOVERNING AGENCIES, JEFFERSON COUNTY, MODNR, AWWA, ASTM, MODOT, THE NATIONAL MUTCD, AND THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG).
- NO WORK SHALL OCCUR ON THE SITE UNTIL ALL NECESSARY PERMITS ARE SECURED WITH ALL LOCAL GOVERNING AGENCIES. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND FUNCTIONING BEFORE ANY PERMIT WILL BE ISSUED. PERMITS AND LICENSES NECESSARY FOR THE PROCESSION OF WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
- ALL DISTURBED AREAS AND LAWN AREA, EXCLUDING PAVED AND BUILDING AREAS, SHALL BE GRADED, SEEDED, FERTILIZED, MULCHED AND STRAWED WITHIN 14 DAYS FROM THE COMPLETION OF GRADING OPERATIONS OR SUSPENSION OF WORK AS DIRECTED BY THE ENGINEER IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- MANHOLES AND STORM STRUCTURES SHALL BE CONSTRUCTED OF CAST-IN-PLACE OR PRE-CAST CONCRETE. SHOP DRAWING SHALL BE REQUIRED FOR ALL NONSTANDARD CONCRETE STRUCTURES.
- ALL ELEVATIONS SHOWN ARE REFERENCED TO THE CONTROL POINTS SHOWN HEREIN, EXCEPT AS NOTED ON THE PLANS, PAVEMENT GRADES SHOWN ARE AT THE TOP OF PAVEMENT SURFACES.
- HOT MIX BITUMINOUS MATERIALS SHALL NOT BE PLACED ON EXISTING BITUMINOUS/CONCRETE SURFACES OR ON AGGREGATE BASES WITHOUT THE APPLICATION OF BITUMINOUS MATERIALS PRIME COAT.
- ALL TEMPORARY AGGREGATE PLACED BY THE CONTRACTOR SHALL BE REMOVED, GRADED, SEEDED, FERTILIZED, MULCHED AND STRAWED AT THE COMPLETION OF THE CONTRACT AS DIRECTED BY THE ENGINEER.
- STORE TOPSOIL ONSITE AT AN APPROVED LOCATION AS DIRECTED BY THE ENGINEER AND OWNER. EXCESS TOPSOIL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER.
- ANY PROPERTY CORNERS OR OTHER PERMANENT SURVEY CONTROL MONUMENTS DISTURBED BY CONSTRUCTION SHALL BE VERIFIED AND/OR RESET AT THE CONCLUSION OF THE PROJECT CONSTRUCTION BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI AND EMPLOYED BY THE CONTRACTOR. WRITTEN VERIFICATION SHALL BE PROVIDED TO THE OWNER, THROUGH THE ENGINEER, THAT ALL SAID PROPERTY CORNERS AND/OR PERMANENT SURVEY CONTROL MONUMENTS SHOWN IN THE CONSTRUCTION PLANS HAVE BEEN PROTECTED AND/OR RESET.
- RIGHT-OF-WAYS, PROPERTY LINES AND TOPOGRAPHY SHOWN HEREON HAVE BEEN TAKEN FORM THE BEST AVAILABLE RECORDS AND MUST BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION.
- PROPERTY LINES ARE BASED ON RECORD INFORMATION, AS SHOWN, (I.E., SUBDIVISION PLATS, DEEDS, ETC.) OBTAINED FROM THE RECORDER'S OF DEEDS OFFICE, JEFFERSON COUNTY, MISSOURI.
- THE CONTRACTOR WILL COORDINATE ANY INTERRUPTION OF PARCEL OWNERS ACCESS WITH THEIR PARCEL (I.E. INSTALLATION OF WATERMAIN ACROSS DRIVEWAYS, ETC.) WITH THAT RESPECTIVE PARCEL OWNER PRIOR TO CONSTRUCTION AND INSTALLATION OF THE WATERMAIN.
- PRESERVE EXISTING TREES, WOODLANDS AND UNDERSTORY OUTSIDE THE LIMITS OF CONSTRUCTION. CONTRACTOR SHALL BE VERY CONSCIENCE ABOUT ADJACENT TREE REMOVAL TO CONSTRUCTION AREAS. CONTRACTOR SHALL ONLY REMOVE THE MINIMUM AMOUNT OF NECESSARY TREES TO COMPLETE THIS PROJECT. CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH THE OWNER TO DETERMINE THE TREES THE OWNER WOULD LIKE REMOVED AND THE TREES THE OWNER WOULD LIKE TO PRESERVE.
- EXISTING FENCING THAT IS NECESSARY TO BE REMOVED AND REPLACED TO INSTALL PROPOSED IMPROVEMENTS SHALL BE REMOVED AND REPLACED TO THE SAME LOCATION PRIOR TO REMOVAL. ONCE THE EXISTING FENCING IS REMOVED DURING CONSTRUCTION THE CONTRACTOR SHALL INSTALL TEMPORARY INTERIM FENCING AND SAID TEMPORARY FENCING SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL THE EXISTING FENCING IS TO BE REPLACED AS CLOSE TO ITS ORIGINAL CONDITION AS POSSIBLE. TEMPORARY FENCING TO BE STRUCTURALLY SOUND AND CAPABLE OF CONFINING CHILDREN AND FAMILY PETS TO THE FENCED YARD AREA. CONTRACTOR MAY REUSE EXISTING FENCING MATERIALS SO LONG AS THE MATERIALS ARE IN GOOD, STABLE, AESTHETICALLY PLEASING CONDITION, IF NOT, THE EXISTING FENCING MATERIALS SHALL BE REPLACED WITH NEW MATERIALS OF SAME TYPE OF CONSTRUCTION, SIZE AND DIMENSIONS, EXISTING FENCING MATERIALS TO BE COORDINATED WITH AND AGREED UPON BY THE DISTRICT FOR REUSE ON THE PROJECT.

SITE GRADING NOTES:

- CONTRACTOR SHALL NOTIFY THE OWNER AND ALL LOCAL GOVERNING AGENCIES 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- CONTRACTOR TO PROVIDE ADEQUATE OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS IS PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.
- CONTRACTOR SHALL KEEP ALL PAVEMENT SURFACES CLEAR OF MUD AND DEBRIS. ALL PAVEMENT SURFACES USED FOR CONSTRUCTION ACCESS THERETO SHALL BE CLEANED THROUGHOUT THE DAY.
- EROSION AND SILTATION CONTROL SHALL BE INSTALLED PRIOR TO ANY WORK AND BE MAINTAINED THROUGHOUT THE PROJECT TO PREVENT DAMAGE OF OFFSITE PROPERTIES UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR CONTROLLING REGULATORY AGENCY. PAVEMENT SURFACE HAS BEEN INSTALLED AND ADEQUATE VEGETATIVE GROWTH IN ALL DISTURBED AREAS HAS BEEN ESTABLISHED AND INSURES NO FURTHER EROSION OF THE SOIL. ADDITIONAL SILTATION CONTROL MAY BE REQUIRED AS DEEMED NECESSARY BY ALL LOCAL GOVERNING AGENCIES, MODNR, MODOT, ENGINEER AND/OR OWNER.
- WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED IN SUCH A DENSITY AS TO PREVENT EROSION.
- WHEN WORK OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 14 DAYS, ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO RETAIN SOIL MATERIALS ONSITE. PROTECTIVE MEASURES MAY BE REQUIRED BY ALL LOCAL GOVERNING AGENCIES, MODNR AND/OR MODOT SUCH AS PERMANENT SEEDING, PERIODIC WETTING, MULCHING, OR OTHER SUITABLE MEANS.
- IF CUT AND FILL OPERATIONS OCCUR IN A SEASON NOT FAVORABLE FOR IMMEDIATE ESTABLISHMENT OF PERMANENT GROUND COVER, A FAST GERMINATING ANNUAL SUCH AS RYE GRASSES OR SUDAN GRASSES SHALL BE UTILIZED TO RETARD EROSION, IF ADEQUATE STORMWATER DETENTION AND EROSION CONTROL DEVICES HAVE NOT BEEN ESTABLISHED.
- ALL FINISHED GRADES (AREAS NOT TO BE DISTURBED BY FUTURE IMPROVEMENT) IN EXCESS OF 3:1 (H:V) SLOPES SHALL BE MULCHED BY CONSTRUCTING EROSION CONTROL BLANKET PER PROJECT SPECIFICATIONS AND MODNR STANDARDS AND SPECIFICATIONS. THE EROSION CONTROL BLANKET SHALL BE EXCLOSIVE BLANKET.
- NO EXCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PROPERTY OR ANY PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY OR PUBLIC OR PRIVATE STREET FROM SETTLING, CRACKING OR OTHER DAMAGE.
- STORM WATER STRUCTURES, PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING. INTERIM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES IS REQUIRED.
- SILTATION FENCES SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY STORM EVENT FOR DAMAGE AND THE AMOUNT OF SEDIMENT THAT HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE SILTATION FENCE OR 12", WHICHEVER IS LESS.
- STRAW BALES SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY STORM EVENT FOR DAMAGE, DETERIORATION AND THE AMOUNT OF SEDIMENT THAT HAS ACCUMULATED. BALES THAT HAVE ROTTED OR FAILED SHALL BE REPLACED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE BALES OR 12", WHICHEVER IS LESS.
- ALL TRASH AND DEBRIS ONSITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFFSITE. DEBRIS AND FOUNDATION MATERIAL FROM ANY EXISTING ONSITE BUILDING OR STRUCTURE THAT IS SCHEDULED TO BE REMOVED FOR THIS PROJECT MUST BE PROPERLY DISPOSED OF OFFSITE. EXCESS, SURPLUS, UNUSABLE, UNSTABLE AND/OR UNSUITABLE MATERIALS RESULTING FROM CONSTRUCTION OF THIS PROJECT, INCLUDING THOSE RESULTING FROM REMOVAL OF EXISTING SIDEWALKS, PAVEMENTS, BUILDINGS AND/OR STRUCTURES, SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR AT HIS/HER OWN EXPENSE IN A LEGAL MANNER, OUTSIDE THE SUBJECT PROPERTY IN SUCH A MANNER THAT PUBLIC OR PRIVATE PROPERTY WILL NOT BE DAMAGED OR ENDANGERED. COORDINATE WITH THE OWNER.
- ALL EXCAVATIONS, GRADING OR FILLING SHALL HAVE A FINISHED GRADE NOT TO EXCEED A 3:1 SLOPE (33%), UNLESS SPECIFICALLY APPROVED OTHERWISE.
- CONTRACTOR TO INSTALL ALL PROPOSED IMPROVEMENTS TO MATCH ALL EXISTING GRADES, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL GRADE AND PREPARE ALL SUBGRADES TO WITHIN 0.1 FEET, MORE OR LESS, OF PLAN GRADE.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL EXISTING AND PROPOSED BUILDINGS AT A MINIMUM SLOPE OF 2%, UNLESS OTHERWISE NOTED. ALL ONSITE STORMWATER FLOWS SHALL BE DIRECTED AND POSITIVELY DRAINED TO PROPOSED AND/OR EXISTING STORM FACILITIES, STRUCTURES, SWALES OR OFFSITE. STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS. PONDING OF STORMWATER WILL NOT BE PERMITTED DURING OR AFTER CONSTRUCTION.
- ALL PAVEMENT (CONCRETE AND ASPHALT), SIDEWALK, HANDICAP RAMP, AND ALL APPURTENANCES CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF ALL LOCAL GOVERNING AGENCIES, MODOT, MODNR, AND THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG).
- CONTRACTOR TO HAVE A SOILS ENGINEER VERIFY THAT ALL COMPRESSIBLE MATERIAL HAS BEEN REMOVED PRIOR TO PLACEMENT OF FILL, AND THAT ALL FILL UNDER SANITARY AND STORM SEWER AND OTHER UTILITY LINES CONSTRUCTED ABOVE GRADE HAS BEEN COMPACTED TO A MINIMUM 95% OF MAXIMUM DRY DENSITY DETERMINED BY ASTM D-698. FILL IS TO BE PLACED IN MAXIMUM 6" LIFTS. TESTS SHALL BE TAKEN AT A MAXIMUM OF 50' INTERVALS ALONG THE ROUTE OF THE PIPE IN FILL AREAS. TEST SHALL BE TAKEN AT 2' INTERVALS VERTICALLY STARTING AT THE BOTTOM OF THE FILL AND CONTINUING THROUGH THE FILL TO THE TOP OF THE PIPE. TESTS SHALL BE TAKEN AT 6' INTERVALS HORIZONTALLY ON BOTH SIDES OF THE PIPE FOR A DISTANCE EQUAL TO THE DEPTH OF THE FILL FROM THE TOP OF PIPE TO VIRGIN SOIL.
- CONTRACTOR TO REMOVE AND DISPOSE OF ALL VEGETATION AFFECTING CONSTRUCTION WITHIN THE CONSTRUCTION LIMITS SHOWN ON THE PLANS IN ACCORDANCE WITH MODOT AND MODNR STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED. ALL REMOVED VEGETATION SHALL BE DISPOSED OF WITHIN 7 DAYS OF REMOVAL.
- PROPOSED CONTOURS AND SPOT ELEVATIONS GENERALLY REFLECT ULTIMATE FINISH GRADE. FOR EARTH GRADES, THE FULL DEPTH OF PAVEMENT MUST BE SUBTRACTED FROM THE ELEVATIONS SHOWN. SEE PAVEMENT SECTION DETAILS AS APPLICABLE FOR SIDEWALKS AND PAVEMENT AREAS.
- THE REMOVAL OF ALL UNUSABLE, UNSTABLE AND/OR UNSUITABLE MATERIALS IN ALL CUT AND FILL AREAS AND THEIR REPLACEMENT WITH SATISFACTORY MATERIAL, WHERE REQUIRED, SHALL BE INCIDENTAL TO THE CONTRACT.
- ALL TOPSOIL, VEGETATION, ROOTS, AND ANY SOFT SOILS SHALL BE STRIPPED FROM SIDEWALK, PAVEMENT AND BUILDING AREAS. SITE SHALL THEN BE PROOF-ROLLED, SCARIFIED AND PROCESSED TO AN OPTIMUM MOISTURE CONTENT TO ATTAIN REQUIRED COMPACTION DENSITY OF SUBGRADE SOILS. ALL SUBGRADE SOILS SHALL BE COMPACTED TO A MINIMUM 95% OF MAXIMUM DRY DENSITY DETERMINED BY ASTM D-698, FOR A DEPTH OF AT LEAST 12 INCHES BELOW THE SURFACE FOR PREPARED SUBGRADE.
- CONTRACTOR IS TO ARRANGE FOR DENSITY TESTING PRIOR TO CONSTRUCTION AND DURING CONSTRUCTION TO VERIFY THAT THE COMPACTION MEETS THE SPECIFICATIONS AND THAT THE SUBGRADE IS WITHOUT SOFT SPOTS. COPIES OF THE TESTING SHALL BE SUPPLIED TO THE OWNER AND ENGINEER/ARCHITECT.

HR
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SPRINGFIELD, IL
NEOSHO, MO

STATE OF MISSOURI
MARK EDWIN BLOOME
NUMBER 201025295
PROFESSIONAL ENGINEER

SIGNATURE
DATE 12-31-2015
LICENSE EXPIRES

PARKING LOT IMPROVEMENTS - PHASE II
JEFFERSON COUNTY DEPARTMENT OF PUBLIC WORKS
COUNTY ADMINISTRATION AND COURTHOUSE ANNEX
725 MAPLE STREET, P.O. BOX 100
HILLSBORO, MO 63050



MARK DATE DESCRIPTION
DATE: 10/3/14
PROJECT NO: 845-1354
DESIGN: DRAWN: CHECK:
MAR JMA MEB

GENERAL NOTES

UNDERGROUND UTILITY NOTE

ANY UNDERGROUND FACILITIES, STRUCTURES, OR UTILITIES THAT HAVE BEEN PLOTTED AND SHOWN FROM AVAILABLE INFORMATION AND RECORDS. THEREFORE, THEIR LOCATION AND RELATIONSHIP TO NEW PROPOSED WORK MUST BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED PRIOR TO ANY WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL LOCAL GOVERNING AGENCIES AND UTILITY COMPANIES PRIOR TO CONSTRUCTION TO DETERMINE THEIR UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES EXACT LOCATION AND THE EXISTENCE OF ANY NOT SHOWN. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND THE OWNER AS TO THE RELOCATION OR REMOVAL OF ANY UTILITIES SHOWN OR NOT SHOWN. THE ENGINEER/ARCHITECT AND THE OWNER DO NOT WARRANT OR GUARANTEE THE COMPLETENESS OR THE CORRECTNESS OF THE INFORMATION GIVEN.

C-001

HR

HURST-ROSCHE
ENGINEERS INC.

PROFESSIONAL DESIGN NUMBER 000372

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JEFFERSON COUNTY DEPARTMENT OF PUBLIC WORKS
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725 MAPLE STREET, P.O. BOX 100
HILLSBORO, MO 63050

| MARK | DATE | DESCRIPTION |
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DATE: 10/3/14
PROJECT NO: 845-1354
DESIGN: MAR DRAWN: TWC CHECK: MEB

DEMOLITION PLAN

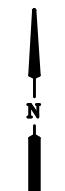
C-101

NOTES:

1. PAVEMENT REMOVAL INCLUDES PAVEMENT, BITUMINOUS CURB AND BITUMINOUS ADA RAMP LOCATED WITH THE PROJECT AREA.
2. WHEN PAVEMENT REMOVAL OCCURS ADJACENT TO EXISTING PAVEMENT OR SIDEWALK, FULL-DEPTH SAW CUTTING SHALL BE PERFORMED PRIOR TO REMOVAL.
3. TRASH DUMPSTER SHALL BE RELOCATED DURING DURATION OF PROJECT AS DIRECTED BY THE ENGINEER AND PUT BACK IN ORIGINAL LOCATION UPON CONSTRUCTION COMPLETION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
4. MOVING/REMOVING AND/OR REPLACING OF BUMPER BLOCKS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
5. EXISTING SIGNS TO BE REMOVED AND REINSTALLED AS DIRECTED BY THE ENGINEER.
6. PAVEMENT REPLACEMENT MAY BE COMPLETED DURING REGULAR BUSINESS HOURS WITH PARTIAL LOT CLOSURES USING STAGED CONSTRUCTION. NO MORE THAN 30 PARKING SPACES MAY BE CLOSED AT ONE TIME. CONTRACTOR SHALL PROVIDE DETAILED STAGING PLANS AND TRAFFIC CONTROL PLANS TO ENGINEER FOR APPROVAL. PARTIAL LOT CLOSURES MAY BE BLOCKED OFF USING TYPE II BARRICADES, CONES, BARRELS, AND/OR TAPE AS APPROVED BY THE ENGINEER. ALL PARKING LOT AREA OUTSIDE THE LIMITS OF CONSTRUCTION SHALL REMAIN OPEN AT ALL TIMES.
7. THE EXISTING PARKING LOT CAN BE OPENED FOR USE AFTER THE AGGREGATE BASE HAS BEEN CONSTRUCTED FINAL GRADE.
8. TWO PAVED HANDICAP PARKING STALLS WITHIN THE LIMITS OF CONSTRUCTION SHALL REMAIN OPEN AT ALL TIMES DURING NORMAL BUSINESS HOURS.
9. ASPHALTIC CONCRETE AND/OR AGGREGATE BASE COURSE CONSTRUCTION MAY BE COMPLETED DURING OFF HOURS, UTILIZING FULL LOT CLOSURE ON WEEKENDS OR COUNTY OBSERVED HOLIDAYS. OFF HOURS SHALL BE CONSIDERED BETWEEN 7:00 PM AND 7:00 AM ON DAYS APPROVED BY THE COUNTY. CONTRACTOR SHALL PROVIDE 72 HOURS NOTICE FOR REQUESTS FOR FULL LOT CLOSURES FOR COUNTY APPROVAL. TYPE III BARRICADES WILL BE REQUIRED FOR THE LOT CLOSURES AND WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE CONTRACT.
10. AN ALLOWANCE OF 50 LF OF GLUED DOWN ASPHALT CURB REMOVAL AND REPLACEMENT SHALL BE INCLUDED IN THE BASE BID. LOCATION WILL BE DETERMINED BY THE ENGINEER IN THE FIELD. SEE DETAIL SHEET FOR ASPHALT CURB DETAIL.

CONTROL POINTS

| POINT | COORDINATES | ELEVATION | DESCRIPTION |
|-------|-------------|-------------|------------------------------------|
| CP#4 | N 872037.90 | E 801651.12 | 808.71 IRON PIN WITH HRE CAP (SET) |
| CP#5 | N 872102.79 | E 801407.59 | 801.53 IRON PIN WITH HRE CAP (SET) |

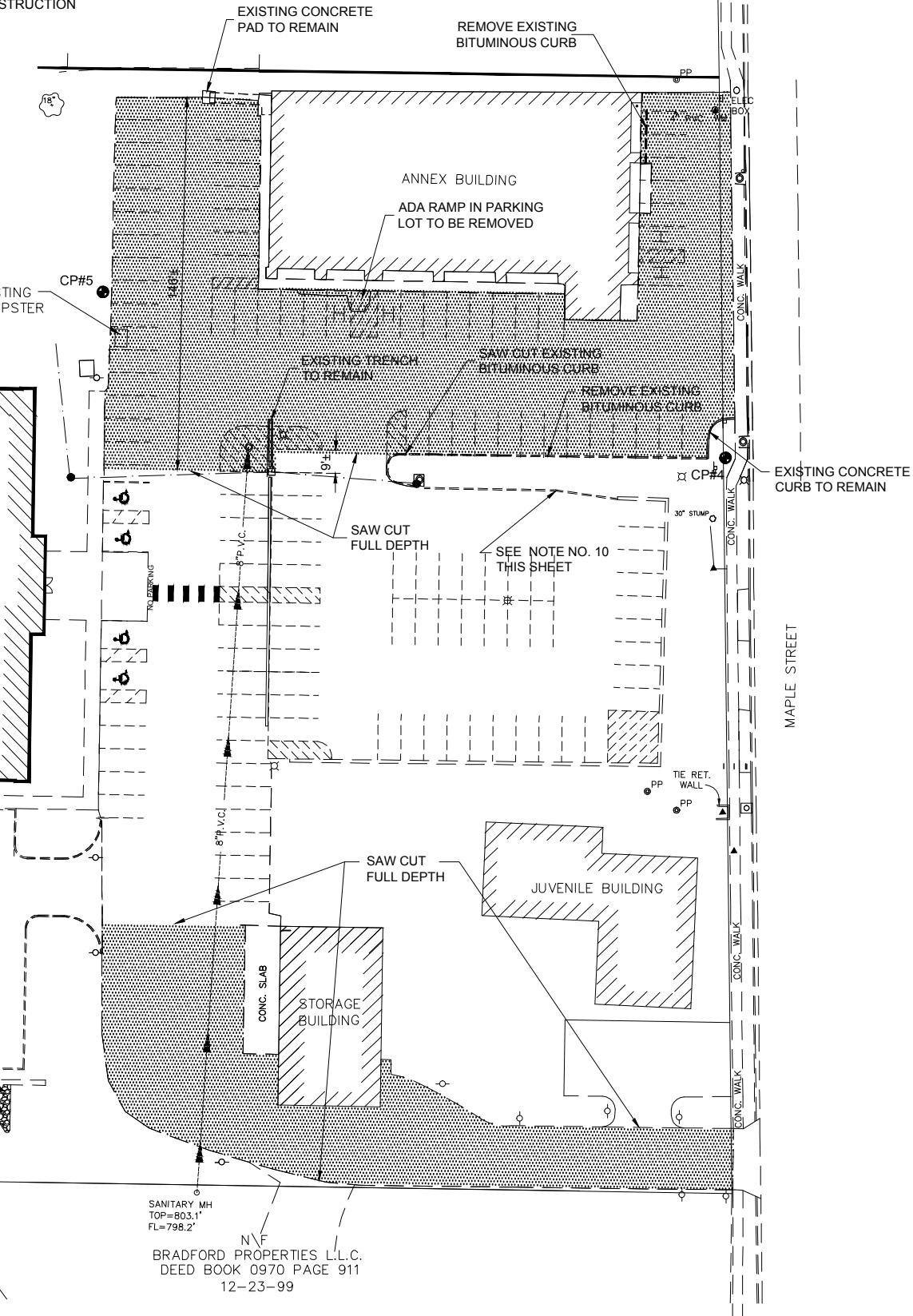


GRAPHIC SCALE

MAPLE STREET

LEGEND

LIMITS OF PAVEMENT REMOVAL/RECONSTRUCTION

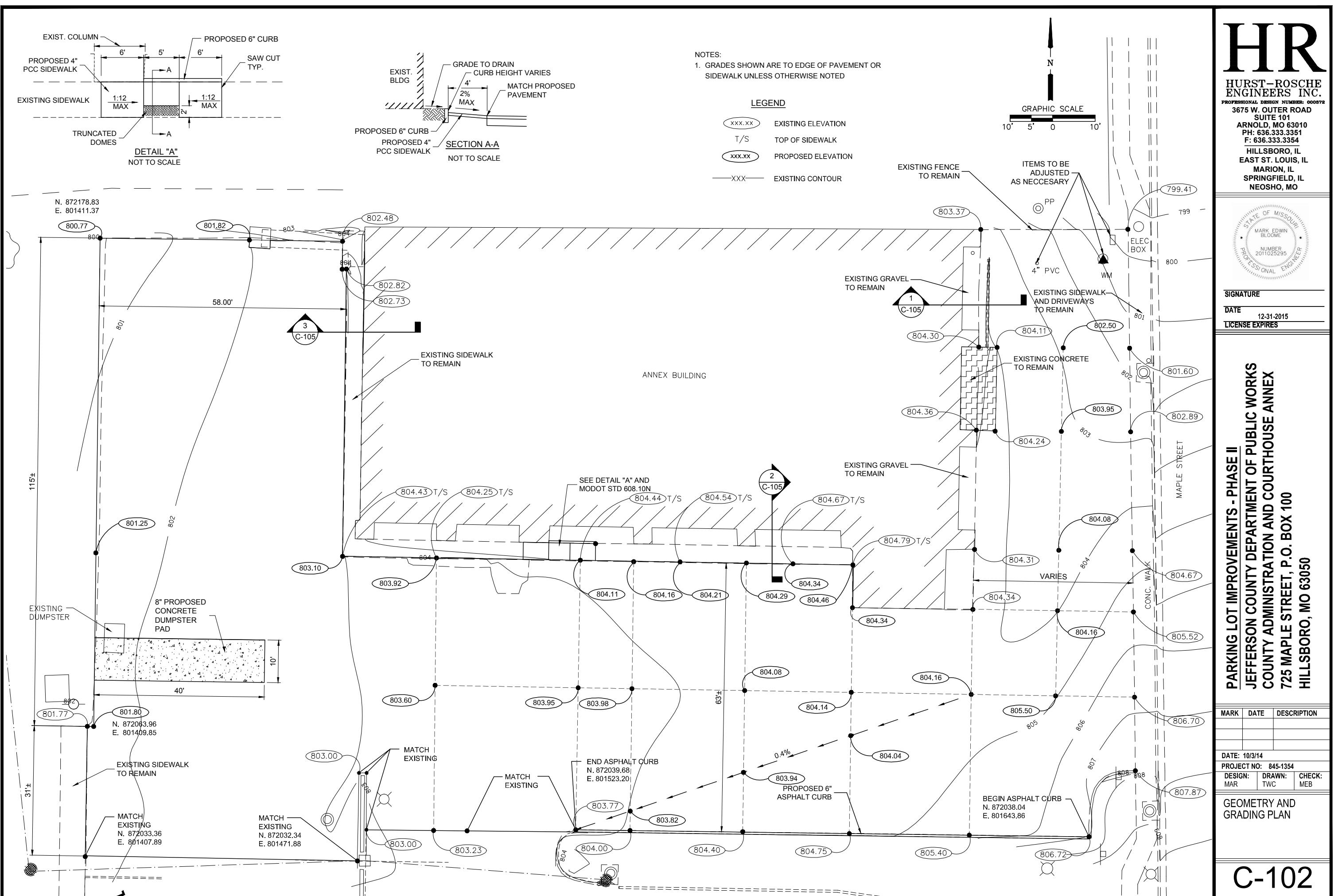


N.F.
RICHARD & PHYLLIS PIERCE
DEED BOOK 039 PAGE 113
6-14-85

LEO J ZIPP
DEED BOOK 0645 PAGE 816
9-29-94

EJM INVESTMENT COMPANY
DEED BOOK 0399 PAGE 669
6-15-88

N.F.
BRADFORD PROPERTIES L.L.C.
DEED BOOK 0970 PAGE 911
12-23-99



HR

HURST-ROSCHE
ENGINEERS INC.

PROFESSIONAL DESIGN NUMBER 000372

3675 W. OUTER ROAD

SUITE 101

ARNOLD, MO 63010

PH: 636.333.3351

F: 636.333.3354

HILLSBORO, IL

EAST ST. LOUIS, IL

MARION, IL

SPRINGFIELD, IL

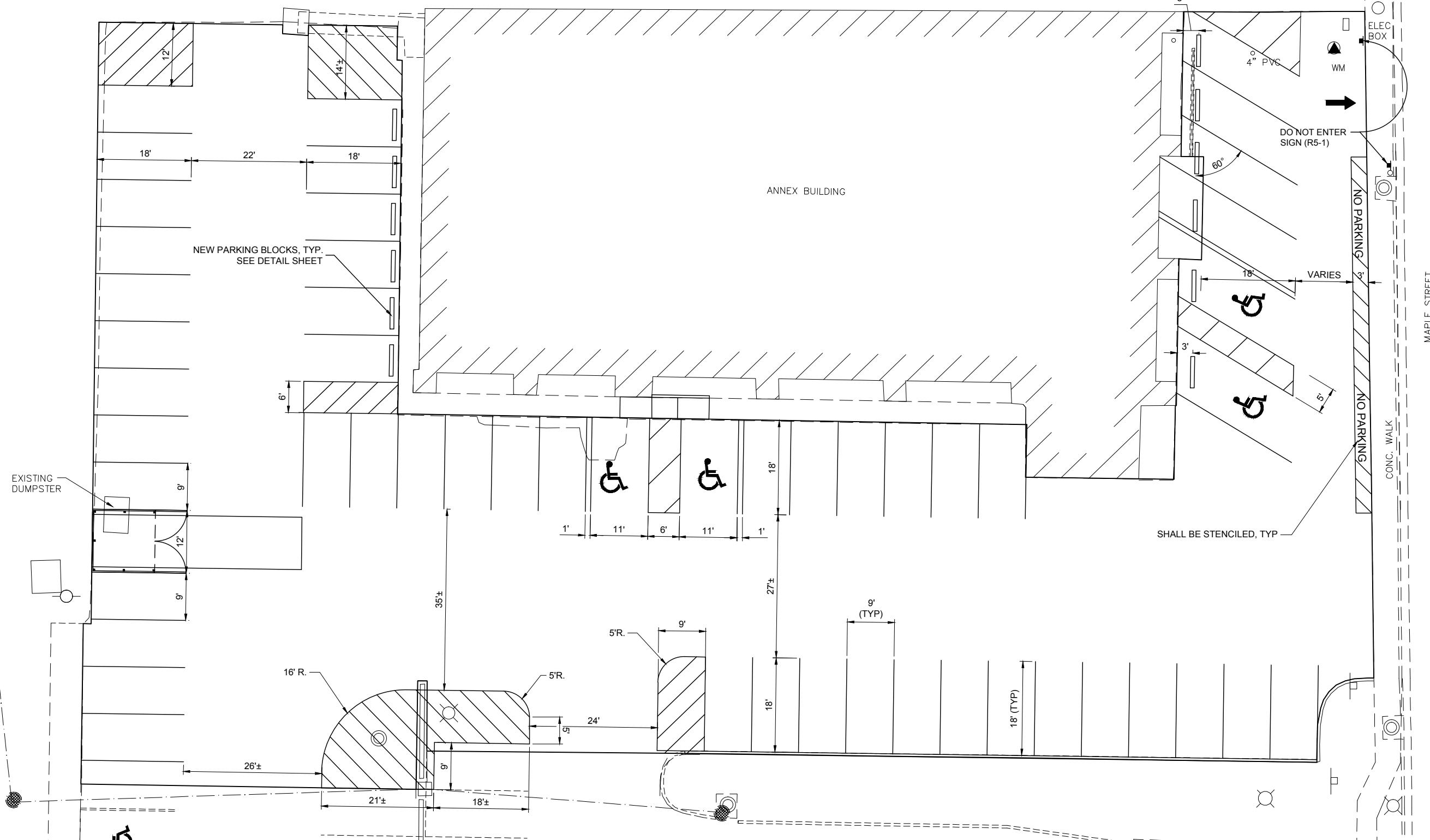
NEOSHO, MO



R5-1
(30"X30")

GRAPHIC SCALE
10' 5' 0 10'

PP



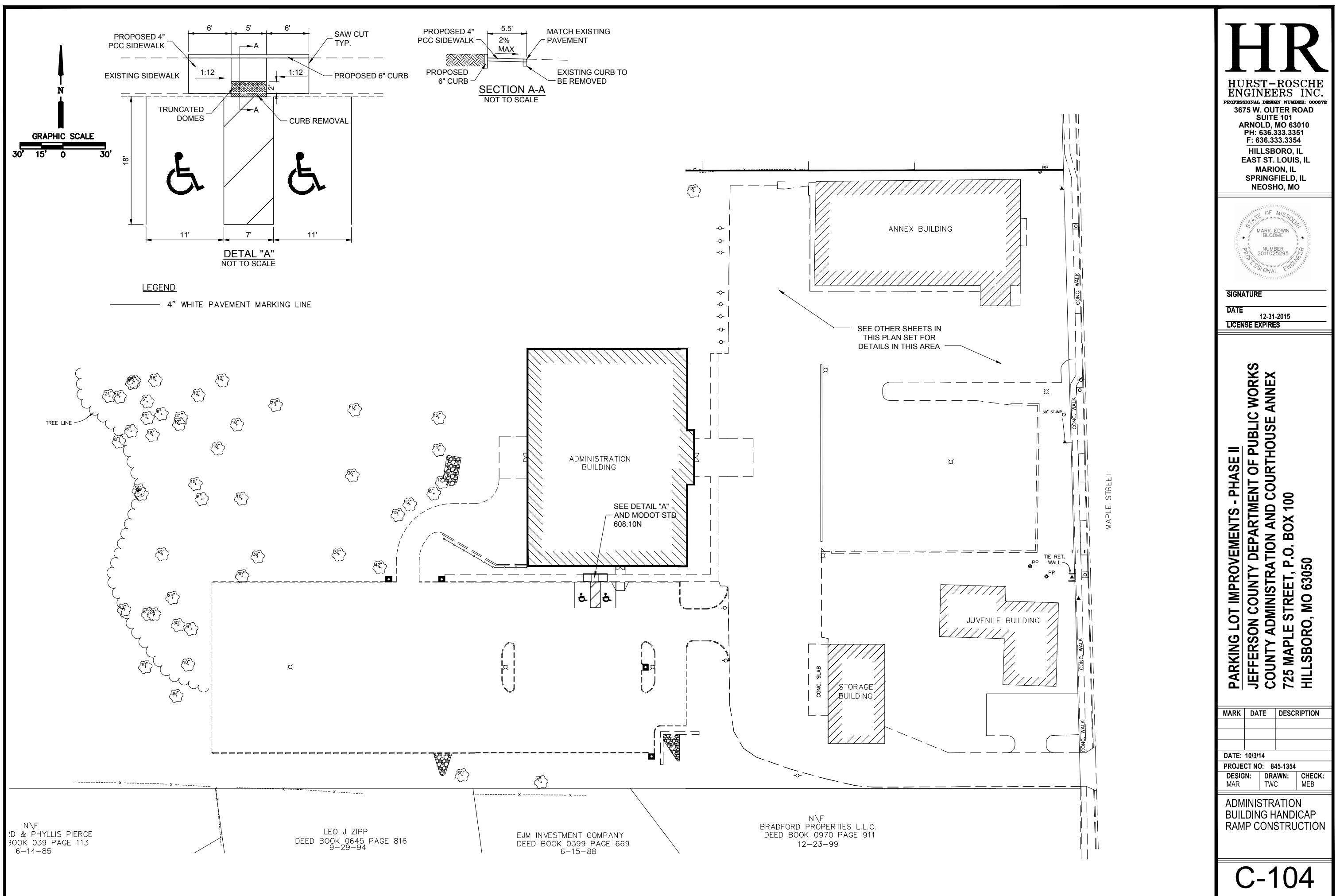
PARKING LOT IMPROVEMENTS - PHASE I
JEFFERSON COUNTY DEPARTMENT OF PUBLIC WORKS
COUNTY ADMINISTRATION AND COURTHOUSE ANNEX
725 MAPLE STREET, P.O. BOX 100
HILLSBORO, MO 63050

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
| | | |

DATE: 10/3/14
PROJECT NO: 845-1354
DESIGN: DRAWN: CHECK:
MAR TWC MEB

STRIPING PLAN

C-103





SIGNATURE
DATE 12-31-2015
LICENSE EXPIRES

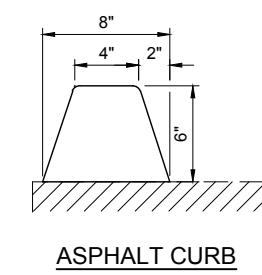
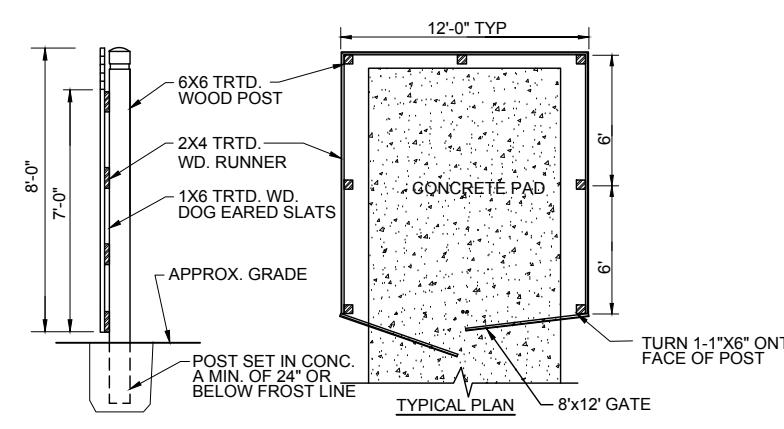
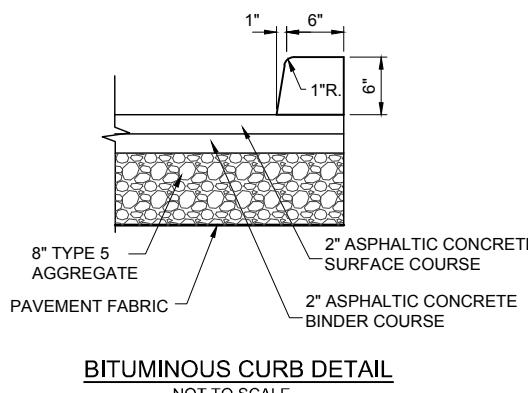
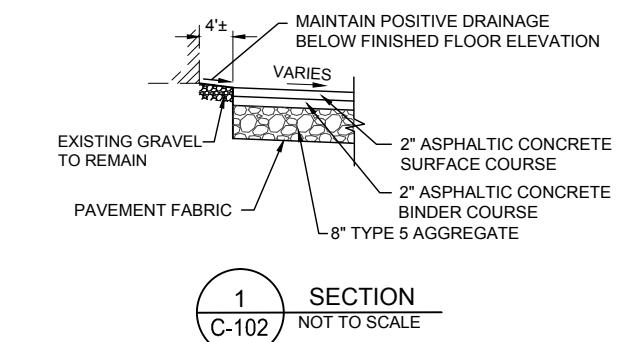
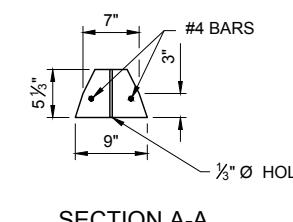
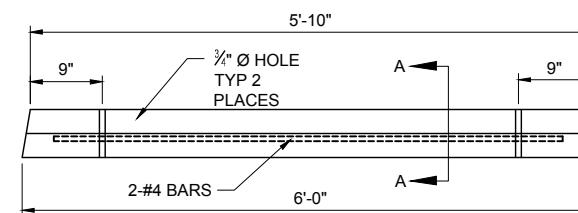
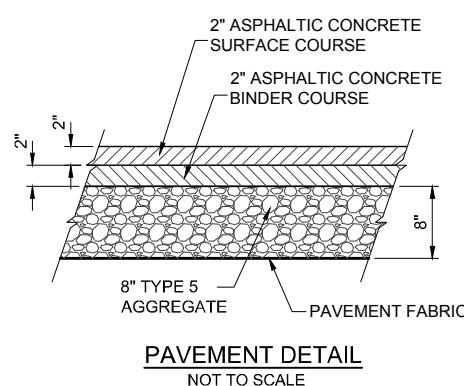
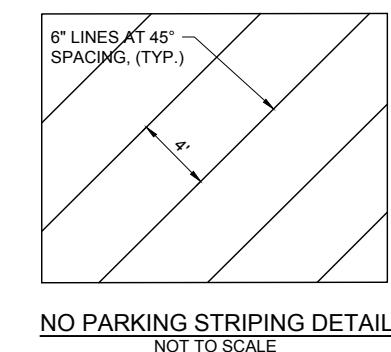
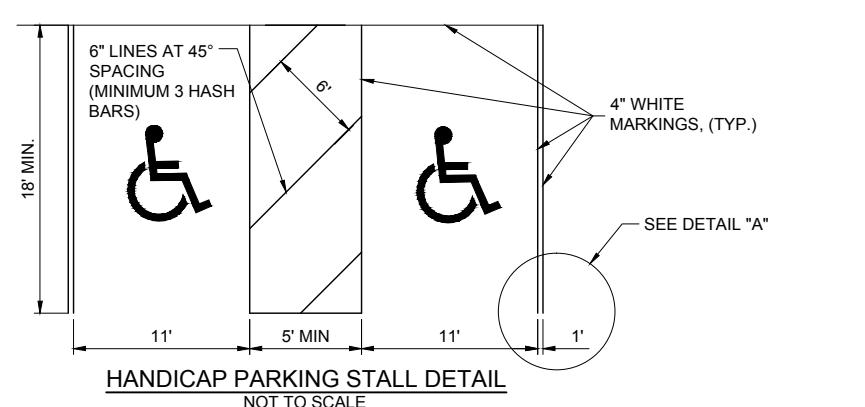
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725 MAPLE STREET, P.O. BOX 100
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DATE: 10/3/14
PROJECT NO: 845-1354
DESIGN: MAR DRAWN: TWC CHECK: MEB

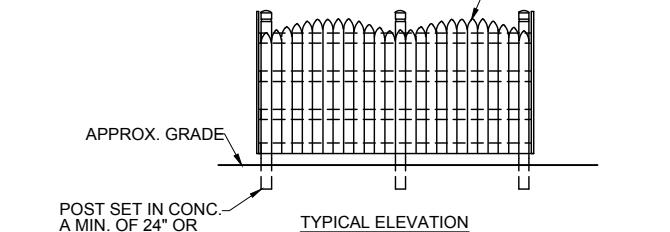
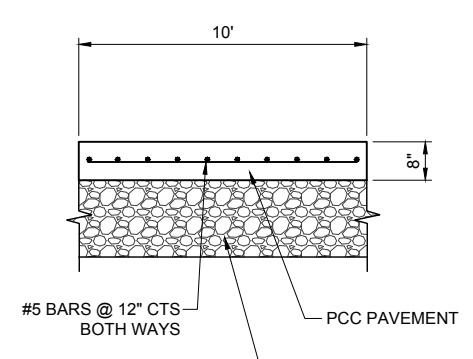
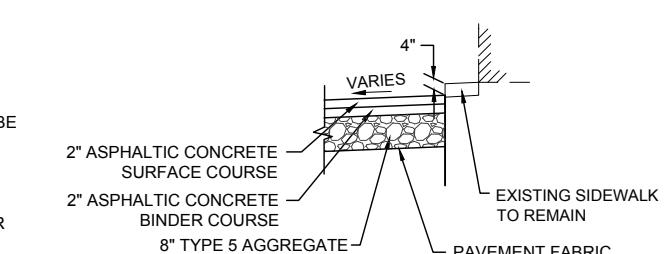
DETAILS

C-105



NOTES:

1. A DIFFERENT CURB CONFIGURATION MAY BE USED, IF APPROVED BY THE ENGINEER.
2. ASPHALT CURB TO BE INSTALLED IN ACCORDANCE TO SECTION 609.30 OF THE MISSOURI STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.



DUMPSTER ENCLOSURE (ALTERNATE BID NO. 1)
NOT TO SCALE

